



Highland Park
My Heart's in the Highlands
Residential Development
Mosgiel

Landscape Design
& Fencing Rules

Prepared For
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Highland Park Subdivision – Mosgiel Landscape Design And Fencing Rules

Introduction In order to ensure that new residents at Highland Park can expect a high standard of landscape and visual amenity in their new neighbourhood, the developers have put in place Protective Covenants and these rules to establish certain standards for the design and implementation of landscape and fencing works on private properties. All lot owners shall be required to submit a Landscape Plan Approval Application application to Cranbrook Properties Limited for approval prior to commencing construction on their site. The Landscape Plan Approval Application should detail proposals that are within the Protective Covenant and within the guidelines set out in this document. The Protective Covenants require that the application may be combined with the application for the erection of the House Design and Exterior, or may be a separate Landscape Plan Approval Application covering all other aspects of the Works proposed.

The Application must include plans setting out in detail the location and design of walls, fences, paths, driveway, paved areas, lawns, planting and matters provided for the Protective Covenants any other elements or structures that are proposed in the grounds of each lot.

Fencing

Boundary and other fences and walls fall into a number of categories and various rules apply depending on the orientation, adjacent land use, number of road boundaries and Dunedin City Council plan requirements and consent conditions.

Mandated Fencing

All private side and rear lot boundaries, Hagart Alexander Drive boundaries, reserve and certain access allotment boundaries, as specified in these Rules (in bold) are mandated by Cranbrook Properties Limited to be fenced. The Mandated fences will be constructed by Cranbrook Properties Limited prior to or immediately following their

purchase.

Optional Fencing

These rules and the guidelines for variations are intended to create attractive and open road frontages, where each home has a clear and welcoming connection to the street. The rules are also promoted to encourage safer streets with a degree of passive surveillance from private properties. A high standard of design and construction is expected. All fencing must be approved by Cranbrook Properties Limited prior to construction.

The rules and guideline for permitted variations and additions recognise that lot frontages have different functions for north and south facing sites and may need different treatments. They are separated into the following categories:

1. Hagart Alexander Drive Frontage.
2. Reserve boundaries
3. North and South facing road boundaries, corner sites, and properties with garaging forward of the house,
4. Access allotment and Comprehensive Development frontages
5. Internal lot boundary fencing

1.0 Hagart Alexander Drive Frontage

Mandated Fencing

- 1.1 The Dunedin City Council plan for development along this road frontage has a condition requiring a 3 metre
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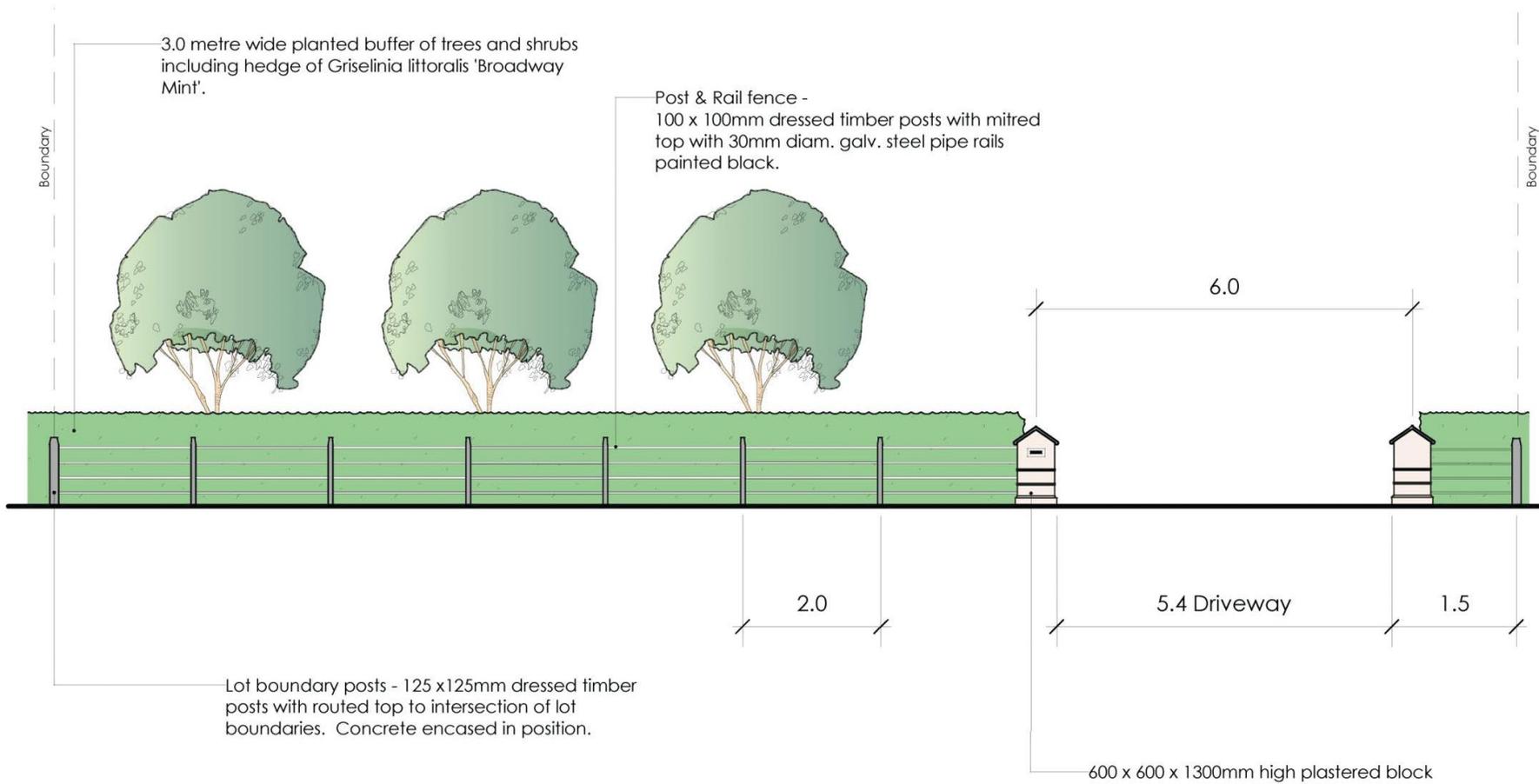


Fig. 1 - Typical Lot Boundary Fencing to Hagart Alexander Drive
Scale: 1:100



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Fig. 2 - Open Steel Railing Fence - 1.2 metre High
Scale: 1:20



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Figure 3. Lots with north facing road frontage
Landscape/Fencing Option - Landscape Design Guideline

wide planted Landscape Buffer Strip of trees and shrubs to be established on this boundary. This will be planted by Cranbrook Properties Limited. Cranbrook Properties Limited will erect the Council-specified post and rail fencing, concrete entrance walls and nominated driveway positions. These are illustrated in Fig.1. (See following page).

1.2 The Landscape Buffer Strip shall be maintained by lot owners. This includes a live hedge of N.Z Broadleaf (*Griselinia littoralis* 'Broadway Mint') which may be trimmed to the height nominated by the lot owner between 1.2 and 1.8 metres high. The neatly trimmed hedge and accompanying small trees and shrubs will provide an integrated frontage for the development on this boundary.

2.0 Reserve Boundary Fencing

Optional Fencing

1.3 Because the Landscape Buffer Strip is mandated in Resource Consent conditions, no variations to the specification are offered.

Mandated Fencing

2.1 The north boundary of lot 1 adjacent to existing Dunedin City Council reserve land shall be fenced with post and rail fence.

2.2 There is no other mandated fencing on the boundaries between lots and reserve land.

Optional Fencing

2.3 Reserve boundaries with private lots if fenced may be fenced with a 1.2 metre high open steel railing fence, powder coated black. See fig 2 below.

2.4 Where lot owners require privacy screening for recreational or service areas within their property adjacent to

3.0 Road Boundary Fencing

these fences, live hedges or shrub borders are the preferred method. Lot owners may apply to erect a solid wall/fence up to 1.8 metres high on this boundary for a maximum length equal to 50% of their reserve boundary, the cost of which shall be the lot owners responsibility. This wall/fence shall be so designed as to reflect the dominant construction materials of the house .

2.5 Lot owners may also apply for a pedestrian access gate in their reserve boundary fence.

2.6 Lot owners wanting to apply for these fencing amendments for consideration by Cranbrook Properties Limited should include all details as part of their Landscape Plan Approval Application.

Mandated Fencing

3.1 There is no mandated fencing on the boundaries between lots and roads.

Optional Fencing

3.2 This shall apply to lots bounding all roads with the exception of Hagart Alexander Drive and Lane Precincts.

3.1 North Facing Road Boundaries

This includes all lots with a road boundary with orientation between south west to north to north east.

The preferred treatment of the space between the house and road is to maintain an open space to better integrate the public and private space with no fencing forward of the front wall of the house. It is recognised that this may conflict with the ability of occupiers of these properties to take advantage of morning and afternoon sun in a private setting.

Where lot owners require privacy screening, live hedges or shrub borders are the preferred method. These lot owners may apply to erect a solid wall/fence up to 1.8 metres in height, forward of the house for up to 50% of the road frontage, provided:

i) It is set back a minimum of 1.5 metres from the road boundary.

ii) No part of the wall exceeds 8.0 metres in length (where parallel to the road), without a step in plan of 1.0 metre

minimum length.

iii) The wall/fence shall return back to the house along the shortest alignment possible. See fig 3 on the following page.

Lot owners wanting to apply for this fencing for consideration by Cranbrook Properties Limited, should include it as part of their Landscape Plan Approval Application.

3.2 South Facing Road Boundaries

This shall include all properties with road boundary orientation between south west to south to north east.

The preferred treatment of the space between the house and the road is to maintain an open space to better integrate the public and private space, with no fencing forward of the front wall of the house.

It is recognised that this may conflict with the ability to locate a service area in a tidy manner out of sight. These lot owners may apply to erect a solid wall/fence up to 1.8 metres in height forward of the house, for up to 35% of the road frontage, provided:

- i) It is set back a minimum of 1.5 metres from the road boundary.
- ii) It is no greater than 8.0 metres in length (where parallel to the road)
- iii) The wall/fence shall return to the house along the shortest alignment possible.

See fig 4 on the following page.

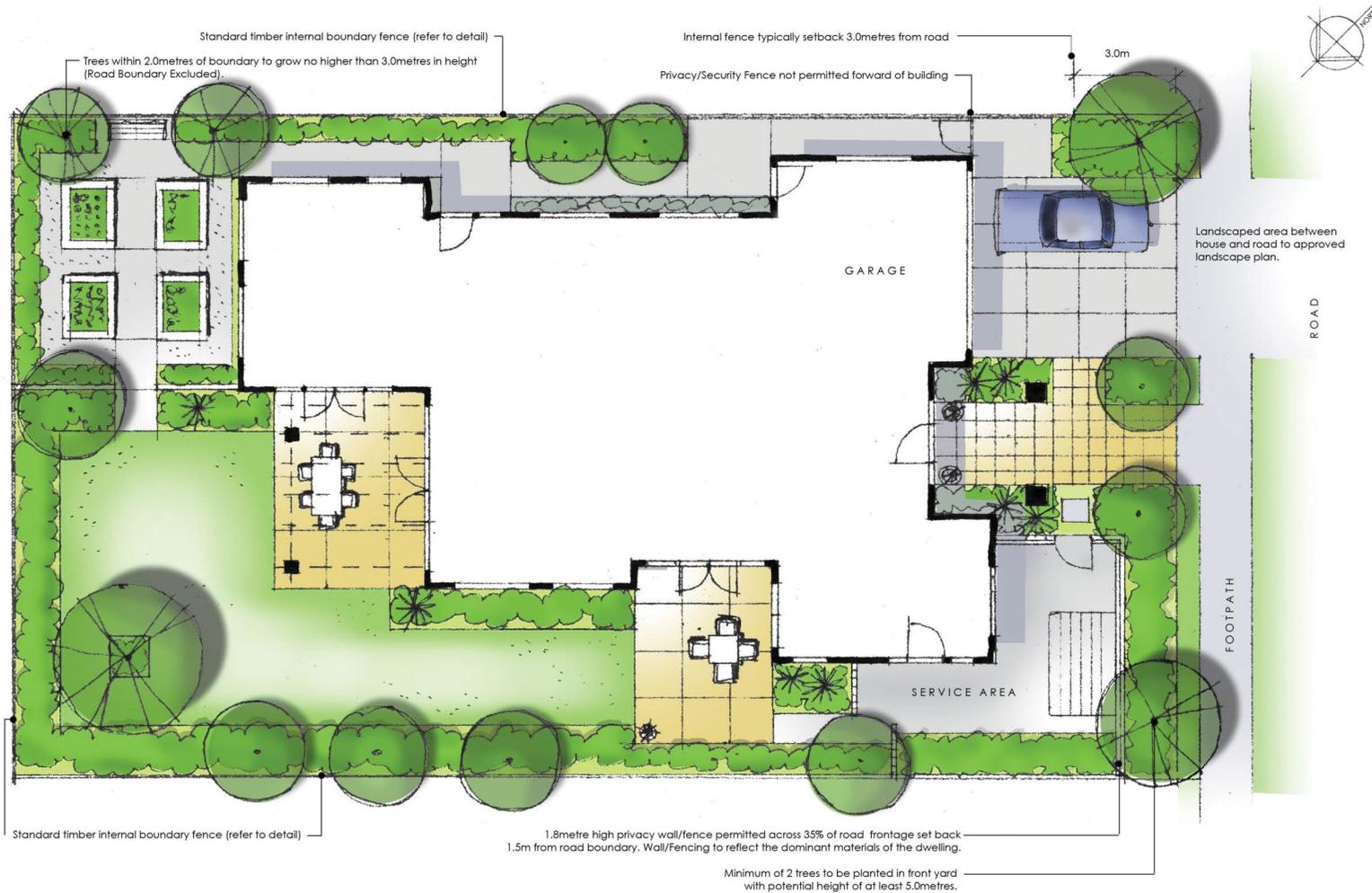


Figure 4. Lots with south facing road frontage
Landscape/Fencing Option - Landscape Design Guideline



3.4 Properties on a Street Corner

Lot owners wanting to apply for this fencing for consideration by Cranbrook Properties Limited, should include details as part of their Landscape Plan Approval Application.

3.3 Properties with Garaging Forward of the House

Where properties have garaging forward of the house and with the garage side wall facing the road no fencing shall be permitted directly forward of the garage or house. Wall/fencing shall be permitted up to 1.8 metres high between the side of the house or garage and closest side boundary.

See fig 5 on the following pages.

Where a property has two road frontages on a street corner, the owner shall be permitted to erect a wall/fence up



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Figure 6. Lots on street corners
Landscape/Fencing Option - Landscape Design Guideline



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4.0 Fencing Access Allotment Or Comprehensive Development Frontage

to 1.8 metres in height along 50% of the combined length of these frontages, provided:

- i) It is set back a minimum of 1.5 metres for 50% of its length. Where parallel to the road.
- ii) The wall/fence may return to the house along the shortest alignment possible.

See fig 6 on the following pages.

Lot owners wanting to apply for this fencing for consideration by Cranbrook Properties Limited, should include details as part of their Landscape Plan Approval Application.

Mandated Fencing

4.1 There is no mandated fencing on boundaries between lots and access allotments except for the rear access allotment boundaries of lots 149 to 154 where the road frontage is from Hagart Alexander Drive. A right of way over the access allotment allows those owners to walk and take light vehicles through the access allotment during the daytime. For each of these properties the whole access allotment boundary must be fenced within the styles of the optional fencing set out in 4.3 below. If desired by the lot owner, one pedestrian gateway of up to 1200 mm in width will be permitted from the rear eastern boundary to the access allotment.

Optional Fencing

4.2 The objective of Comprehensive Development or Access allotment is to create a sense of “community within a community” and to promote a sense of belonging and neighbourliness between residents. To achieve this properties within the Comprehensive Development facing onto the Access allotment are encouraged to have an open frontage with low fences. A Comprehensive Development is identified by an expanded grassed or landscaped access allotment around which the dwellings are clustered. Other lots whose access is from road-



Fig. 7.1 - Developed (part) Elevation - South Elevation Typical Fencing/Walls to Lane Boundaries (Lot 149)
Scale: 1:200

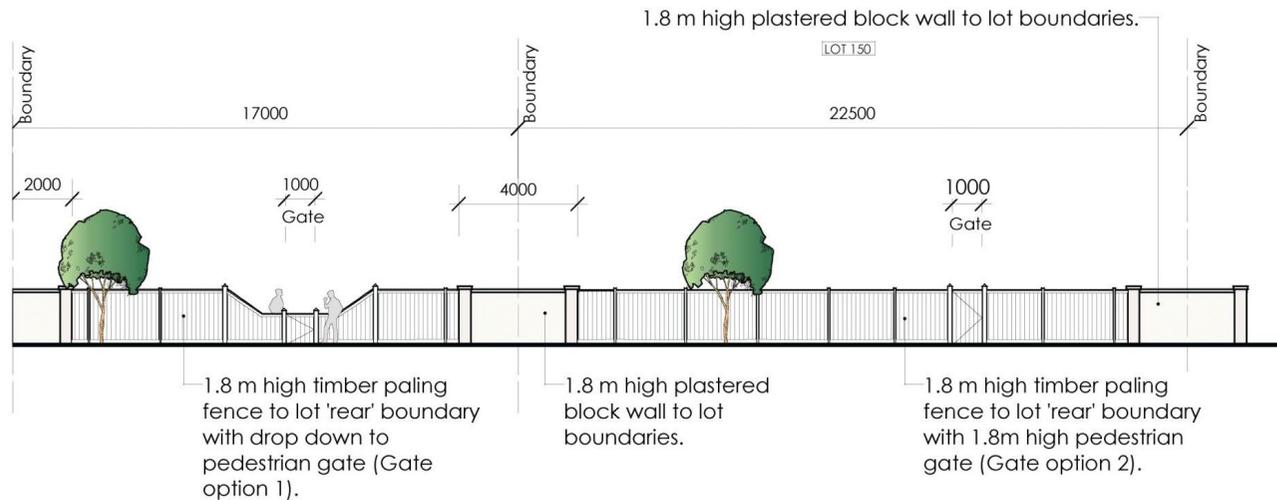


Fig. 7.2 - Developed (part) Elevation East Elevation Typical Fencing/Walls to Lane Boundaries (Lots 149-150)
Scale: 1:200



5.0 Internal Lot Boundary Fencing

alignment-type access allotments are also provided for in this rule.

4.3 Fencing on the access allotment boundary is shown in fig 7.1 & 7.2 (on the following page). This is a combination of plastered concrete block on corners and at lot boundaries, and 1.8 metre high timber fences (to match the standard internal fence). The fences are punctuated by pedestrian gates which may be full height or half height with the fence stepping down either side.

There are 1.2 metre high plastered block walls at the two lane entrances with letterboxes built in at lots 149 and 154.

4.4 Where the access allotment is the means of vehicle access to the lot, and is in the character of a street alignment, and not a Comprehensive Development, the same road boundary rules listed under 3.1 to 3.4 (above) will apply.

4.5 Lot owners wanting to apply for these fencing options, should include details as part of their Landscape Plan Approval Application.

Mandated Fencing

6.0 Design Of Privacy Fencing And Walls

5.1 Cranbrook Properties Limited will erect all internal lot boundary fences. These shall be 1.8 metres high treated timber of the approved design detailed below. Fences shall be stained with 2 coats of an approved timber stain by the new property owners. This shall be completed by the date of application for code compliance certificate for the new dwelling on each site.

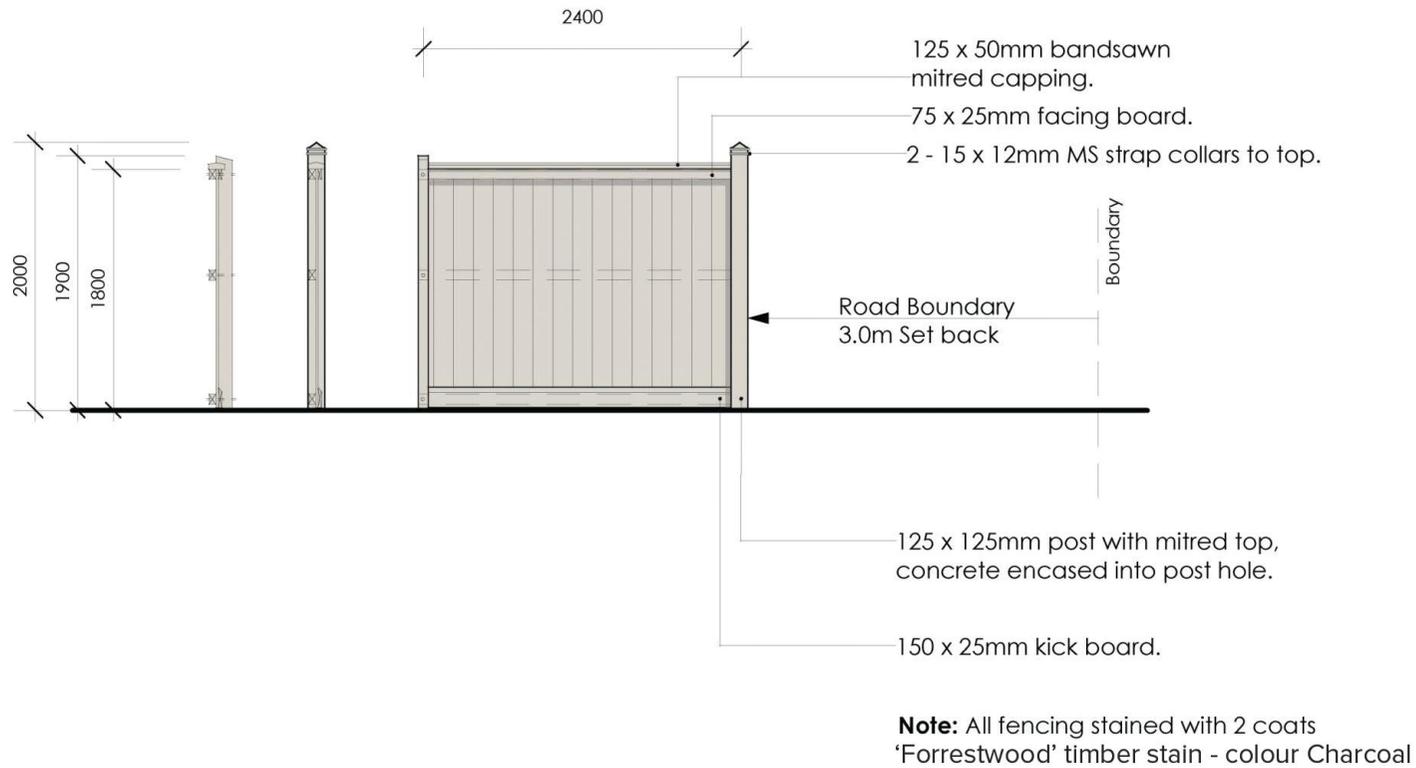
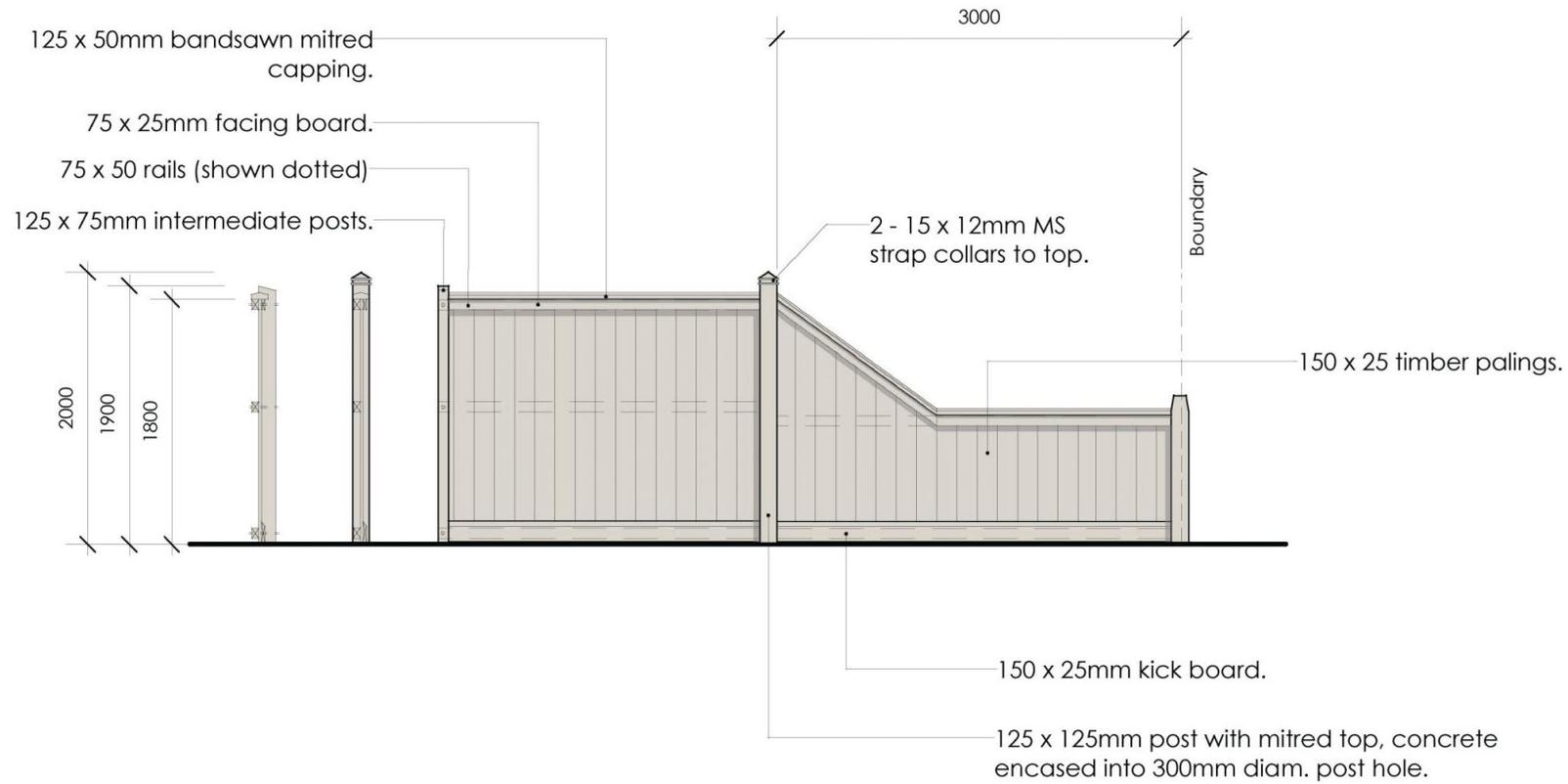


Fig. 8 - Internal (standard) Lot Boundary Fence Stopping 3.0m From Road Boundary
Scale: 1:50



Note: All fencing stained with 2 coats
'Forrestwood' timber stain - colour Charcoal



Fig. 9 - Internal (standard) Lot Boundary Fence with Step Down at Hagart Alexander Drive
Scale: 1:50

7.0 Planting Requirements

These fences will typically not extend closer than 3.0 metres to the road boundary. Internal lot boundary fencing where they meet the Hagart Alexander Drive boundary shall be finished with the step down to 1.0 metre high as detailed below. Refer to Fig.8 and 9 on the following pages.

Optional Fencing

5.2 Variations to the finishing at the road boundary may be approved as part of individual lot owners fencing/landscape plan approvals, generally in accordance with the fencing provisions outlined above.

5.3 All internal boundary fencing shall be erected and stained prior to commencement of building.

Any landscape plans requesting privacy fencing between the house and road boundary shall submit accompanying details (elevations and plan) of the proposed fencing/wall design. The fence/wall design must reflect the dominant materials of the house cladding to present an integrated design with the house as illustrated in the example in Fig 3. This will generally mean that the wall/fence is either built of the same materials as the house or has a significant part of it built in those materials.

7.1 Cranbrook Properties Limited encourage new property owners to develop their properties to establish a high standard of visual and landscape amenity. Cranbrook Properties Limited will be instigating substantial plantings in streets and in reserve areas, as partners in this shared objective.

As noted previously all lot owners shall be required to submit a Landscape Plans Approval Application to Cranbrook Properties Limited prior to commencing construction. This shall include scaled plans and elevations, where appropriate, showing proposals for walls, fencing, hard surfacing, lawns, planting and any other features .

7.2 Particular attention shall be given to the space between the house/garage and the road, and the details of any

fencing and planting in this area. Planting plans shall detail all trees and shrubs.

7.3 Hedge Planting

Live hedges or shrub borders are the preferred method for residents to achieve privacy, where required in their front gardens and no restrictions are placed on the use of planting for this purpose. The following is a list of recommended species for hedging:

Camellia sasanqua and Camellia japonica varieties Carpinus betulinus- hornbeam

Corokia cotoneaster and hybrids- korokio

Escallonia macrantha varieties

Fagus sylvatica - beech

Griselinia littoralis- broadleaf

Laurus nobilis- bay laurel

Michelia yunnanensis

Pittosporum tenuifolium varieties- kohuhu

Podocarpus totara- totara

Prunus lauro-cerasus- cherry laurel

Prunus lusitanicus- portugese laurel.

7.3 Planting Rules

Two specific rules are noted regarding planting:

i) To protect neighbours from being shaded by large trees – No trees shall be planted within 2.0 metres of any internal boundary that exceed 3.0 metres in height. No tree shall be planted anywhere on a property that exceeds 8.0 metres in height.

ii) To ensure that there is a balanced streetscape where buildings do not dominate, all properties shall have a minimum of 2 trees planted in their front yard with a potential height of at least 5.0 metres.

The following is a list of medium sized tree species that will grow in this area:
