



Highland Park
My Heart's in the Highlands

Highland Park
Glengarry Court
Landscape design
and Fencing rules



Introduction

Glengarry Court is to be developed as a comprehensive precinct with its own identity within Highland Park.

This includes the grouping of houses on smaller lots around a private neighbourhood reserve. The reserve will have communal facilities in the form of a small pavilion.

To ensure an open, predominantly planted and integrated street character is achieved, the following specific fencing rules will be implemented.

Any lot owner may submit with their “Landscape Approval Application” a fence proposal that varies from the alignments described below, and this will be considered on its merits and may be approved if it meets the overall objectives and contributes positively to the landscape character of Glengarry Court. This approval shall be at the discretion of the developer.



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1.0 Lots with rear boundary on Windermere Drive.

Lots 194, 193, 191, 214,
213 and 212.

A specific wall and fence design comprising a 1.5 to 1.6 metre high steel railing fence, set back 1.0 metre from the boundary, interspersed by solid panel walls on the boundary is to be erected on this frontage. Refer to fig. GC 1 for this detail. The 1.0 metre strip between the steel fence and boundary shall be planted by the developer and the planting then maintained by the adjacent lot owners.

Lot owners may have a pedestrian gate installed in the steel railing fence of maximum 1.0 metre width. No vehicle access will be permitted through this boundary, other than on the main shared access.

The same rules shall apply to the lot 191 and 214 boundaries that have frontage onto the first 12.0 metres of the Right of Way off Windermere Drive. The corner splay walls shall have a plastered concrete block wall and signage facing Windermere Drive. Refer to fig GC2 for this detail.

These fences and planting shall be installed by the developer.

2.0 Lot 209 boundary with neighbourhood reserve.

This boundary will have a specific design comprising a combination of 1.2 metre high steel railing and solid panel end walls. Refer to fig. GC3 for this detail.

This fence shall be installed by the developer.

3.0 Lot 192 south and west boundaries.

This lot has a boundary on 3 road frontages. To provide opportunity for private outdoor living space the preferred treatment shall be live hedges.

The south and south west boundaries may however be fenced for their full length.

The west boundary may be fenced from the south corner to a point 600mm behind the front wall of the house/garage at its closest point to the north corner. This fence shall be set back 1.0 metre from the boundary. The 1.0 metre strip between fence and boundary shall be planted with approved shrubs and maintained by the lot owner.

Fencing permitted under this clause shall comply with the design options noted in 5i and 5ii below.

This fencing or planting shall be installed by the developer.

4.0 Internal boundary fencing between lots.

A specific design, 1.6 metre high timber boarding fence shall be built on all internal side boundaries between lots where requested by lot owners. Refer to fig. GC4 for this detail.

This is with the provision that no fence on a side boundary shall extend forward of a point 600mm behind the front wall of the adjacent house/garage wall.

The last 3.5 metres of fence closest to the road on a side boundary shall have a step down as detailed on fig. GC4.

This fencing shall be installed by the developer.

5.0 Optional fencing of front yards facing Glengarry Court main right of way.

No wall or fencing shall be permitted along the front right of way boundary, or forward of a point 600mm behind the nearest front wall of the house/garage of any property, other than that noted in clause 1, regarding lots 191 and 214.

Neat, trimmed live hedges are permitted to a maximum height of 1.6 metres. A list of recommended species is included in the “Highland Park Landscape Design and Fencing Rules”.

Should a lot owner wish to erect a fence and /or gate between the side boundary and house and /or garage that is visible from the street, this fence shall:

- i) Be no taller than 1.6 metres in height.
- ii) Be in the same style as the fence detailed in fig GC4 or in materials to match the house cladding, or a combination of these.

These fences shall be installed by the lot owners.

6.0 Lots with boundaries on minor rights of ways .

The objective with these minor rights of ways is to maintain a degree of openness, avoiding a “narrow alley” feeling, but also to achieve a measure of privacy for lots that have a north and west boundary onto the ROWs. To meet this objective some flexibility in the rules is needed until specific house and landscape designs are submitted for each lot.

Live hedges or plantings on boundaries are the preferred treatment in all instances.

The following are rules for determining what fencing is acceptable.

Any fence on these minor rights of way boundaries or yards shall meet the criteria noted in clause 5 i) or 5 ii) above.

- **Lot 202.** This is a front access boundary. Fencing shall be permitted on 50% of this boundary if set back 1.0 metre from the boundary, and a fence may return from this to the house/garage. No part of this fence may be within 5.0 metres of the boundary corner peg with lot 201.

The 1.0 metre strip between the fence and ROW boundary shall be planted with approved shrubs and maintained by the lot owner. The balance of the boundary shall have no fences along it or between the ROW boundary and the house.

- **Lot 205.** The boundary facing west is a no access boundary. Fencing shall be permitted from the north corner of this boundary to a point 600mm behind the front wall of the adjacent house/garage wall.

The boundary facing east fronts a right of way and is a no access boundary. Fencing shall be permitted from the north corner of this boundary to a point 600mm behind the front wall of the adjacent house/garage.

10.0 metres of this fence shall be set back 1.0 metre from the boundary and the 1.0 metre strip between fence and ROW boundary shall be planted with approved shrubs and maintained by the lot owner.

- **Lot 208.** The boundary facing northwest is a front access boundary. Fencing is permitted on 50% of this boundary and a fence may return from this to the house/garage. The balance of the boundary shall have no fencing along it or between the ROW boundary and house.
 - **Lot 209.** The boundary facing northwest is a no access boundary. Fencing shall be permitted from the north corner of this boundary to a point 600mm behind the adjacent front wall of the house/garage.
 - **Lot 210.** This is a no access boundary facing southeast. Fencing shall be permitted from the north corner of this boundary to a point 600mm behind the adjacent front wall of the house/garage.
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10.0 metres of this fence shall be set back 1.0 metre from the boundary and the 1.0 metre strip between fence and ROW boundary shall be planted with approved shrubs and maintained by the lot owner.

- **Lot 213.** This is a front access boundary. Fencing is permitted on 50% of this boundary if set back 1.0 metre from the boundary, and a fence may return from this to the house/garage.

The 1.0 metre strip between the fence and ROW boundary shall be planted with approved shrubs and maintained by the lot owner.

The balance of the boundary shall have no fencing along it or between the ROW boundary and house.

- **Lot 214.** This is a no access boundary facing northwest. Fencing shall be permitted from the north corner of this boundary to a point 600mm behind the adjacent front wall of the house/garage.

All fences or planting on, or setback 1.0 metre from right of way boundaries shall be installed by the developer.

7.0 Rear boundaries adjoining previous or future stages.

These boundaries shall be fenced in accordance with the “Highland Park Landscape Design and Fencing Rules Fig. 8

These fences shall be installed by the developer.

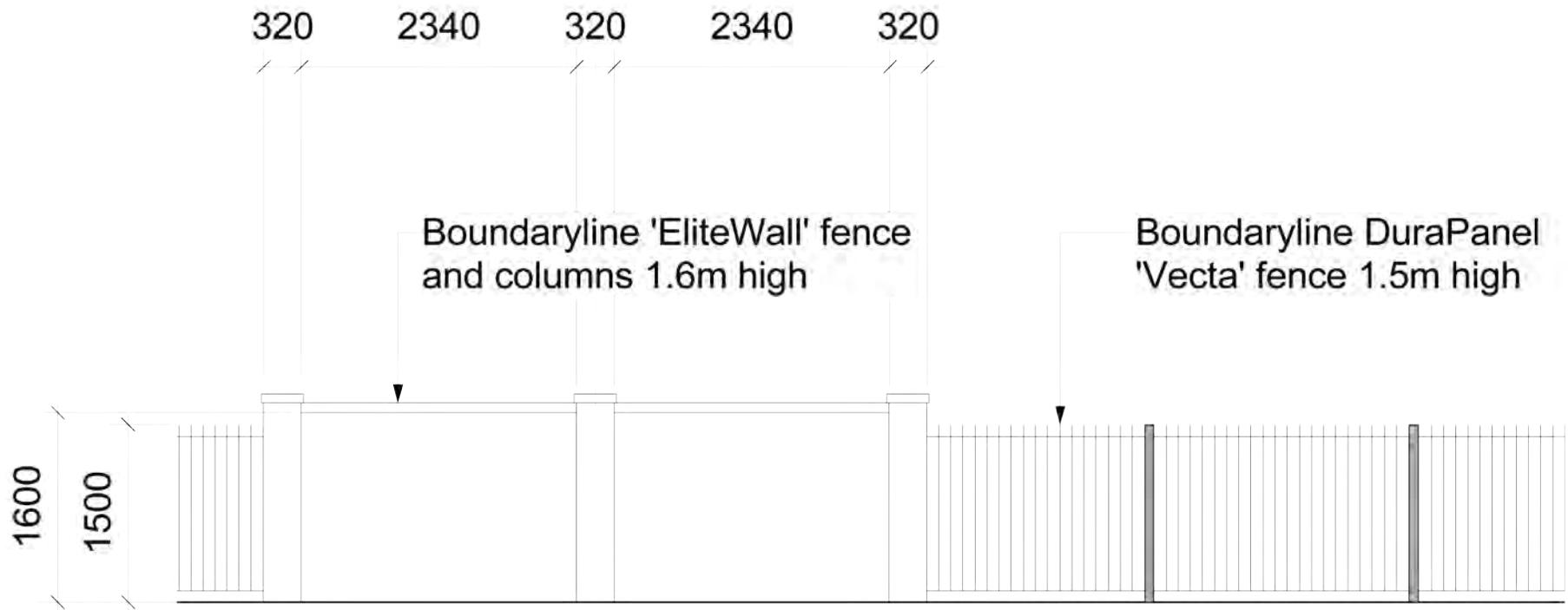


FIG GC1 (FENCE TYPE A)

Scale 1:50

WINDERMERE DRIVE BOUNDARY

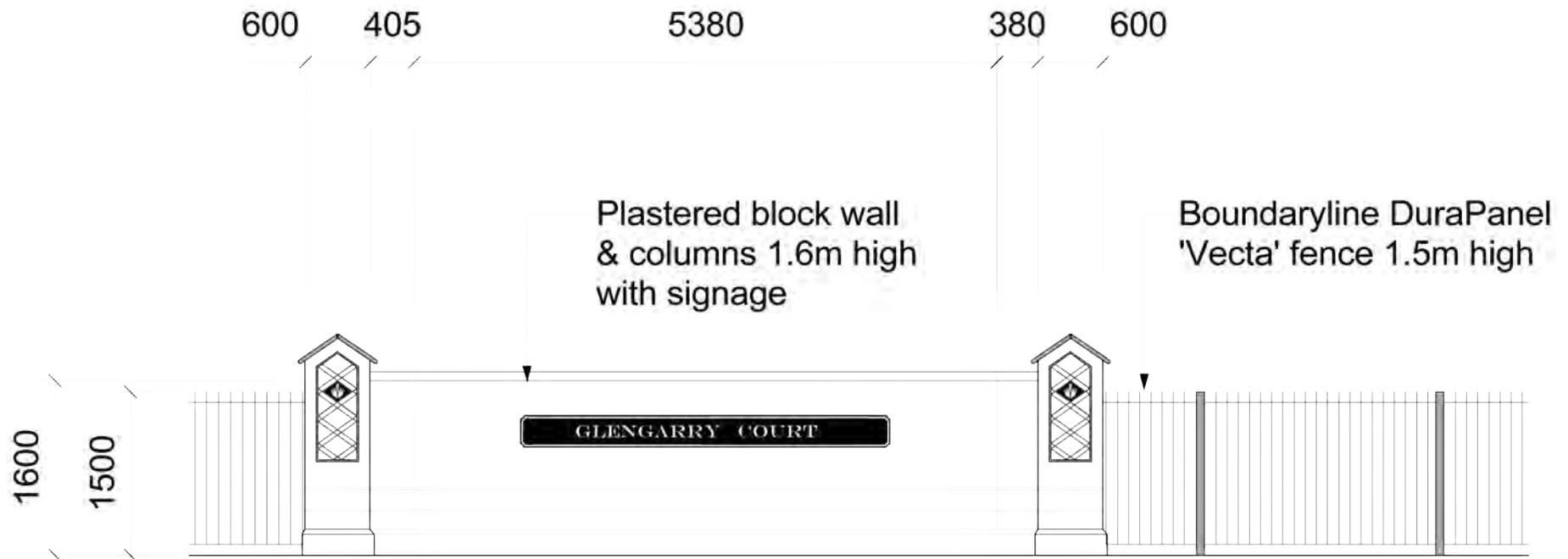


FIG GC2 (FENCE TYPE B) Scale 1:50

GLENGARRY COURT ENTRANCE

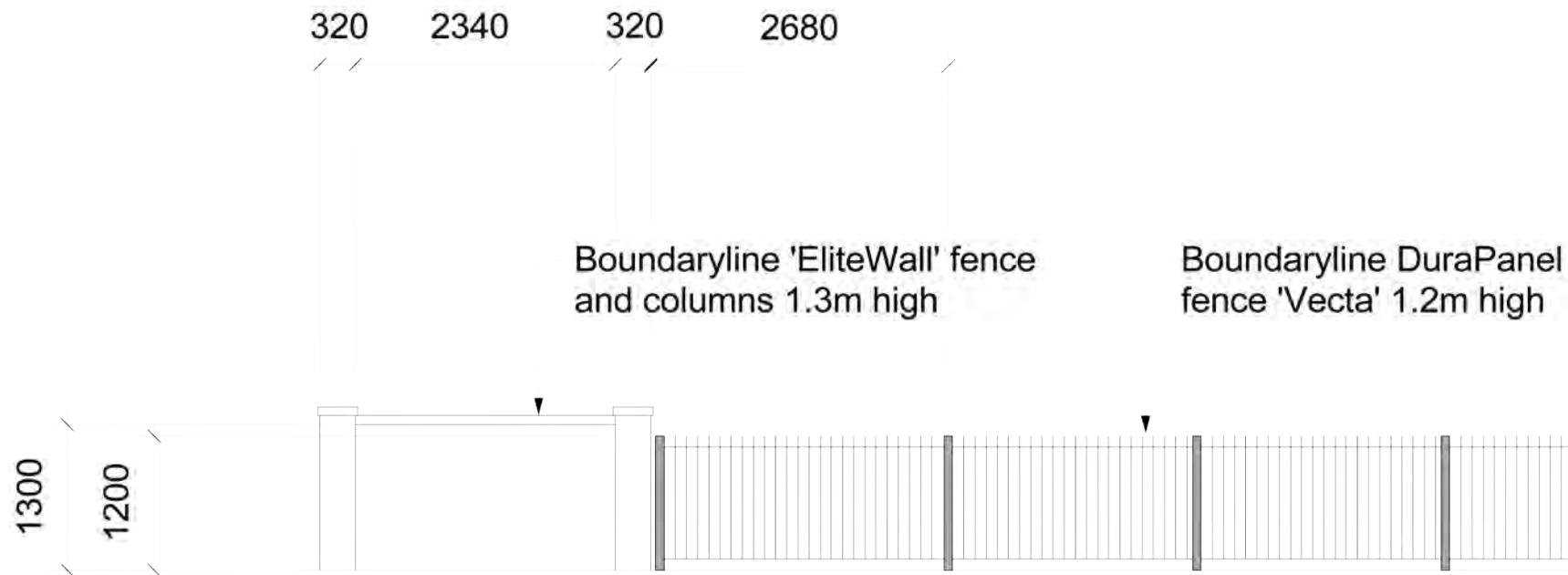
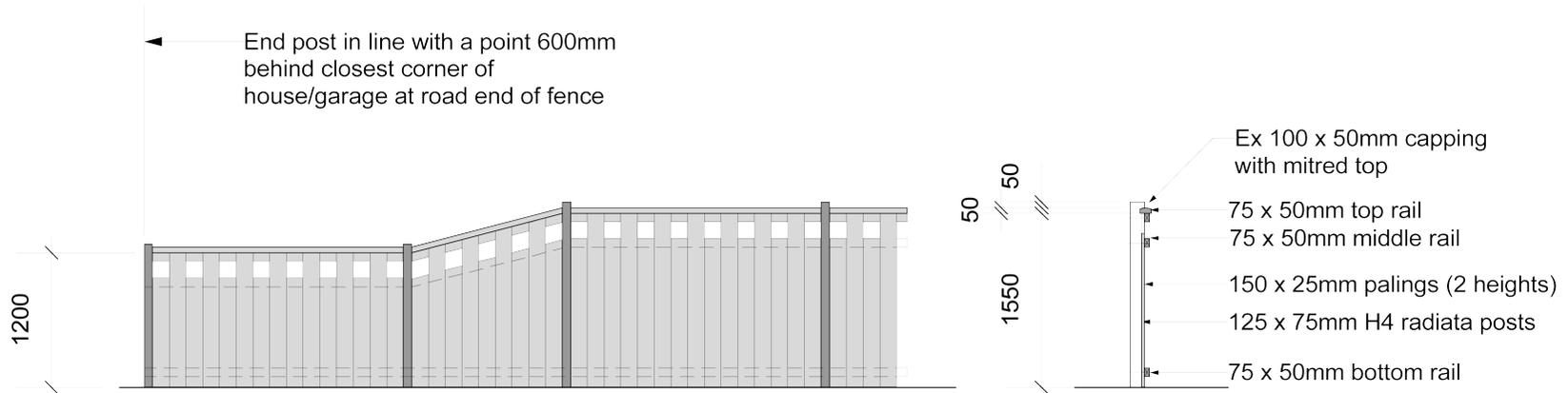


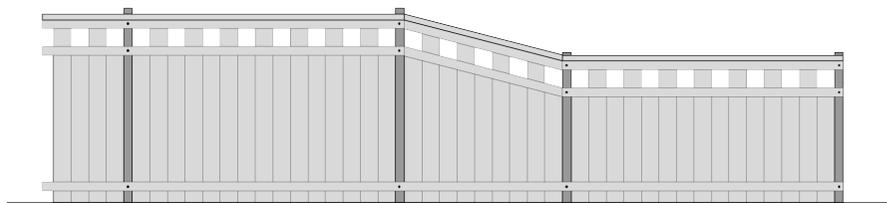
FIG GC3 (FENCE TYPE C)

Scale 1:50

LOT 209 RESERVE BOUNDARY



ELEVATION OF FRONT FACE



ELEVATION OF BACK FACE

FIG GC4 (FENCE TYPE D)

Scale 1:50

NOTE: All fencing stained with Watty
"Forestwood", colour 'Charcoal'
(by section owner)

GLENGARRY COURT INTERNAL BOUNDARY FENCE